

PB# 07-09

Windsor Gate Plaza

67-4-17,18.1,18.2

TOWN OF NEW WINDSOR
PLANNING BOARD
APPROVED COPY

DATE: June 13, 2007

07-09

Windsor Gate Plaza
Rt. 94 (Cappelli's)

P.B. #07-09

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#191-2007

03/21/2007

Ciancio, Rhoda

Received \$ 125.00 for Planning Board Fees, on 03/21/2007. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 07/05/2007

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 7-9

NAME: WINDSOR GATE PLAZA EXPANSION PA2004-1511
APPLICANT: RHODA CIANCIO

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
06/13/2007	PLANS STAMPED	APPROVED

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/14/2007

PAGE: 1

LISTING OF PLANNING BOARD **FEE**
APPROVAL

FOR PROJECT NUMBER: 7-9

NAME: WINDSOR GATE PLAZA EXPANSION PA2004-1511
APPLICANT: RHODA CIANCIO

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
06/07/2007	APPROVAL FEE	CHG	125.00		
07/13/2007	REC CK. #2535	PAID		125.00	
		TOTAL:	125.00	125.00	0.00

WINDSOR_GATE_PLAZA_EXPANSION_AMENDED_SITE_PLAN_(07-09)

MR. ARGENIO: Application proposes some adjustments to the recent site plan approval number 5-29. The amendment was previously reviewed at the 14 March, 2007 planning board meeting. Just to refresh everybody's memory, they did have final approval and they wanted to make some changes and amendments to the site and when they came in to make those changes and amendments that was when they came in on the 14th of March, 2007. The other approvals were prior to that. Sir, can I have your name for the record?

MR. CAPPELLI: Alfred Cappelli, architect.

MR. ARGENIO: Can you tell us about what you're doing here?

MR. CAPPELLI: Sure, the size of the addition and the area of the blacktop parking all remains exactly the same, parking lot configuration, building configuration what we attempted to do is reconfigure some parking as we mentioned to the rear of the building we eliminated the parking that was on the previously approved site plan because we felt that was a perfect spot for our retail deliveries in the rear of the building. We have taken those parking spaces and put them to the rear of the building. We needed another means of egress via a stair tower, as we discussed, so on the right side of the addition there was enough sidewalk area given to us by the previous engineer that allowed us to put a stair tower to facilitate egress from the second floor of our addition. If you recall, there was a second floor bridge if you will between the existing building and the proposed addition but it was open underneath and we proposed to close that ten foot wide, I believe it's 10 or 12 feet wide connection downstairs creating a two story lobby and that would be our means of vertical circulation with our stairs, elevators, et cetera. There was some issues with the depth of the sidewalks

in the front of the building. The original plan had five feet and I believe we discussed the fact that as my cars come parking up against that five foot deep sidewalk and the car overhanging a sidewalk nobody's going to be able to get out a door of one of the retail stores, we made that eight foot deep not affecting any of the parking. We also made a change to the area in the front which was very heavily landscaped and at the time we felt that it was going to detract from our center lobby which we wanted to create visibility so we created a little entrance plaza which between last meeting and this meeting we blew up for you to show the type of planting and seeding and--

MR. ARGENIO: I think Neil had requested that.

MR. CAPPELLI: Well, and we have given that to you. And I believe the original square footage as incorrect we have corrected the square footage on the building, the existing building, for instance, had the incorrect square footage we changed, that did not affect the amount of parking or anything like that, we just corrected that from what the original engineer had and I think that's pretty much the changes we made. And when we discussed it with the board last several months ago I believe we all concurred that it was a much better plan than was preliminarily presented to you and I believe we had to come back this evening because of the county, the letter from the county we had to send them site plan out to the county.

MR. ARGENIO: I have fire approval on 3/14 of 2007 and for the benefit of the board members we should go to Mark's comment here cause he summarizes rather nicely, this is a simple amendment which cleans up some deficient layout issues from the prior plan. All requested corrections to this amendment have been accomplished, other than a minor typo, I'd like to very briefly go into Mark's summary of the county's comments.

MR. CORDISCO: I have some comments on that as well.

MR. ARGENIO: I'd like to hear from you first and the question I'd like to ask you in maybe a paragraph or so is it seems as though we're getting lot of comments of late relative to renderings of headwalls and things of that nature, what's the scope of this law, Dominic?

MR. CORDISCO: Well, the scope of the county referral process is that the County Department of Planning reviews applications that are triggered by certain criteria such as proximity to a municipal border, so when you have a project that's near the Cornwall border or near a state or county road that application has to be referred to the County Planning for their comments. Comments on what exactly I think is what your question is and the statute speaks to comments regarding regional concerns, intermunicipal concerns, that's not to say that the County Planning Department in practice doesn't comment on specifics of the plans as you know they often do. In here essentially the county has three options when making comments in addition to the detailed comments you'll see at the very end they recommend one of three things, they either recommend approval or local determination or a denial. For this one, they have recommended that it is a local determination which means--

MR. ARGENIO: It's up to us.

MR. CORDISCO: That's right.

MR. ARGENIO: But they still will make suggestions.

MR. CORDISCO: Yes, in fact, they said that specifically that the county makes the following recommendations, now they're recommending things which I think you can take the comments and evaluate them and decide whether or not you want to incorporate them.

MR. ARGENIO: I think they have done a pretty good job with this site, they have accommodated Neil and changed the courtyard area in the front, they did the renderings, Neil or Howard, do you have any comment on this?

MR. SCHLESINGER: I'm sure that Mark went over it, I mean by doing away with the bridge and enclosing that and creating a lobby that makes the building bigger, parking spaces are in the proper amounts and everything.

MR. BROWN: They did everything Mark asked for.

MR. GALLAGHER: No, I have nothing.

MR. VAN LEEUWEN: I have no comments.

MR. ARGENIO: Okay, you need to correct the parking table to reflect 110 total parking spaces of which 5 are handicapped, that's what your approval will be subject to.

MR. CAPPELLI: That's fine.

MR. ARGENIO: Dominic, have I missed anything?

MR. CORDISCO: No, I have prepared a resolution granting amended site plan approval. I have incorporated the recommendations made by Mr. Edsall as to what that approval should include, including that one you mentioned regarding the parking spaces and there's also a condition in there that all the prior conditions of the prior site plan approval would apply to the amended site plan approval.

MR. ARGENIO: Motion that we accept that resolution.

MR. VAN LEEUWEN: So moved.

May 9, 2007

50

MR. SCHLESINGER: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board grant amended site plan approval for Windsor Gate Plaza site plan amendment on Route 94. If there's no further discussion, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. BROWN	AYE
MR. GALLAGHER	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

MR. ARGENIO: Thank you, sir.



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. MCGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
33 AIRPORT CENTER DRIVE
SUITE 202
NEW WINDSOR, NEW YORK 12553

(845) 567-3100
FAX: (845) 567-3232
E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:
MJE@MHEPC.COM

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: WINDSOR GATE PLAZA SITE PLAN AMENDMENT
PROJECT LOCATION: NYS ROUTE 94 (West of 5-corners)
PROJECT NUMBER: SECTION 67 - BLOCK 4 - LOTS 17, 18.1 & 18.2
DATE: 07-09
DESCRIPTION: 9 MAY 2007
THE APPLICATION PROPOSES SOME ADJUSTMENTS TO THE RECENT SITE PLAN APPROVAL (APP. NO. 05-29). THE AMENDMENT WAS PREVIOUSLY REVIEWED AT THE 14 MARCH 2007 PLANNING BOARD MEETING.

1. This is a simple site plan amendment, which I support, since it "cleans up" some deficient layout issues from the prior plan. All requested corrections to this amendment plan have been accomplished (other than a typo correction, noted in recommended conditions of approval).
2. The Board has already affirmed their "neg dec" and determined a public hearing was not required.
3. A referral was made to the Orange County Planning Department on 3-16-07. We have received a response dated 5-7-07, approved subject to:
 - Addition should be perpendicular to existing structure, in an L-shape, with parking on the side.
 - Town should "negotiate" an area variance to lower the amount of parking, or establishment of "reserve" parking (non-paved until need is demonstrated).
 - Provide extensive landscape plan, perimeter of site and to buffer parking areas.
4. If the Board resolves the County Planning issues and considers conditional approval, I recommend the following conditions of approval:
 - Correct parking table to reflect 110 total parking spaces, of which 5 are handicapped.
 - That the application be subject to the same conditions as the prior approval, to include, but not necessarily be limited to submittal of site bonding estimate, payment of fees, etc.

Respectfully Submitted,


Mark J. Edsall, P.E., P.P.
Engineer for the Planning Board

REGIONAL OFFICES

• 111 WHEATFIELD DRIVE - SUITE ONE • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4689

OFFICE OF THE PLANNING BOARD

June 8, 2007

Alfred Cappelli Jr. & Associates, PC
792 Route 82
Hopewell Junction, NY 12533

ATTN: Alfred Cappelli

SUBJECT: WINDSOR GATE PLAZA (07-09)

Dear Mr. Cappelli:

Please find attached printouts of fees due for subject project.

Please contact your client, the applicant, and ask that payment be submitted in separate checks, payable to the Town of New Windsor, as follows:

Check #1 – Approval Fee.....	\$	125.00
Check #2 – Amount over escrow.....	\$	776.90

Upon receipt of these checks and ten (10) sets of plans **(with at least five (5) sets being folded)**, I will have the plans stamped and signed approved.

If you have any questions in this regard, please contact my office.

Very truly yours,

Myra L. Mason
Myra L. Mason, Secretary To The
NEW WINDSOR PLANNING BOARD

MLM

PLANNING BOARD
TOWN OF NEW WINDSOR

PAGE: 1

LISTING OF PLANNING BOARD **FEE**
APPROVAL

ER: 7-9
ME: WINDSOR GATE PLAZA EXPANSION PA2004-1511
NT: RHODA CIANCIO

DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
COVAL FEE	CHG	125.00		
		-----	-----	-----

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/08/2007

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 7-9

NAME: WINDSOR GATE PLAZA EXPANSION PA2004-1511
APPLICANT: RHODA CIANCIO

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/26/2007	REC. CK. #5112	PAID		250.00	
03/14/2007	P.B. MINUTES	CHG	84.00		
05/09/2007	P.B. MINUTES	CHG	35.00		
05/09/2007	P.B. ATTY (CORDISCO)	CHG	420.00		
06/07/2007	P.B. ENGINEER FEE	CHG	487.90		
			-----	-----	-----
		TOTAL:	1026.90	250.00	776.90

PAGE: 1

CLIENT: NEWWIN - TOWN OF NEW WINDSO

FOR ALL WORK ON FILE:

										DOLLARS	
TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION-----	RATE	HRS.	TIME	EXP.	BILLED	PAID
7-9	324398	02/07/07	TIME	MJE	WS WIND GATE FLE S/P AM	119.00	0.40	47.60			
7-9	329569	03/13/07	TIME	MJE	MR WINDGATE S/P AMEND	119.00	1.00	119.00			
7-9	329575	03/14/07	TIME	MJE	MR WINDGATE S/P AMEND	119.00	0.10	11.90			
7-9	329581	03/14/07	TIME	MJE	PM WINDGATE S/P AM W/GA	119.00	0.20	23.80			
7-9	329587	03/14/07	TIME	MJE	MM WINDGATE-REG MTG	119.00	0.40	47.60			
7-9	329597	03/16/07	TIME	MJE	AA WINDGATE OODP REFUEL	119.00	0.40	47.60			
								297.50			
7-9	334923	04/24/07			BILL 07-1120					-297.50	
								(UN-BIL	0.00)	-297.50	
7-9	338205	05/08/07	TIME	MJE	MR WINDGATE S/P AM	119.00	0.40	47.60			
7-9	338212	05/08/07	TIME	MJE	PM MTG GA/EAD RVW PROJ	119.00	0.20	23.80			
7-9	338216	05/08/07	TIME	MJE	MC OODP EVK & EMC MM	119.00	0.30	35.70			
7-9	338452	05/09/07	TIME	MJE	MM Wind Gate Am. APED	0.00	0.10	0.00			
7-9	353869	05/09/07	TIME	EAD	MM WINDSOR GATE FLE EXP	119.00	0.30	35.70			
								142.80			
7-9	354960	05/23/07			BILL 07-1353					-142.80	
								(UN-BIL	0.00)	-142.80	
7-9	357406	06/07/07	TIME	MJE	MC Closeout	119.00	0.40	47.60			
TASK TOTAL								487.90	0.00	-440.30	0.00
								(UN-BIL	47.60)	(UN-PAID	440.30)
GRAND TOTAL								487.90	0.00	-440.30	0.00
								(UN-BIL	47.60)	(UN-PAID	440.30)

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/08/2007

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 7-9

NAME: WINDSOR GATE PLAZA EXPANSION PA2004-1511
APPLICANT: RHODA CIANCIO

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/26/2007	REC. CK. #5112	PAID		250.00	
03/14/2007	P.B. MINUTES	CHG	84.00		
05/09/2007	P.B. MINUTES	CHG	35.00		
05/09/2007	P.B. ATTY (CORDISCO)	CHG	420.00		
06/07/2007	P.B. ENGINEER FEE	CHG	487.90		
		TOTAL:	1026.90	250.00	776.90

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#456-2007

06/14/2007

Century 21 The Real Estate Connection P.B. # 07-29

Received \$ 125.00 for Planning Board Fees, on 06/14/2007. Thank you for
stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk



COUNTY OF ORANGE

DEPARTMENT OF PLANNING

EDWARD A. DIANA
COUNTY EXECUTIVE

124 MAIN STREET
GOSHEN, NEW YORK 10924-2124
TEL: (845)291-2318 FAX: (845)291-2533
www.orangecountygov.com/planning

DAVID CHURCH, A.I.C.P.
COMMISSIONER

ORANGE COUNTY DEPARTMENT OF PLANNING
239 L, M OR N REPORT

This proposed action is being reviewed as an aid in coordinating such action between and among governmental agencies by bringing pertinent inter-community and countywide considerations to the attention of the municipal agency having jurisdiction.

Referred by: Town of New Windsor
Planning Board

Reference/County ID No.: NWT12-07M
County Tax ID: S67 B4 L17
S67 B4 L18.1
S67 B4 L18.2

Applicant: Rhoda Ciano

Proposed Action: Site Plan for 16530sf 2-story expansion of a commercial/office building

Reason for Review: Within 500 ft of NYS Route 94

Date of Full Statement: April 9, 2007

Comments:

1. The applicant has requested site plan approval for a 16530sf 2-story expansion of a commercial/office building, in a NC Neighborhood Commercial zoning district.
2. It is noted that the proposed addition to an existing commercial and office building is surrounded by residential uses. This type of use can easily be considered a destination for nearby residents, who often may seek out nearby commercial establishments. The expansion and improvement of the uses on this lot therefore represents an opportunity to become a neighborhood, pedestrian-accessible destination. With this in mind, the County makes the following recommendations:
 - When developing commercial space at the neighborhood scale, it is necessary to strongly consider pedestrian safety and aesthetics in the design. The applicant could redesign the placement of the proposed addition by abutting it to the existing structure in a perpendicular fashion. The structures would form an L-shaped building and bring the now side elevation to the front. The L-shape would accommodate the proposed plaza area and perhaps make it more of a destination. This would bring street frontage closer to the road and cause the front parking to be relocated to the side and the back areas of the parcel.
 - It is noted that local parking regulations are often based on data acquired from a small number of generic cases and not on specific and local parking needs. In this case, the County finds that the proposed number of parking spaces may be in excess of what is actually needed. The Town and applicant could consider negotiation for an area variance to lower the minimum parking standards for this particular commercial development. An

alternative to this would be the designation of "reserve spaces" that would remain landscaped until such time that the owner has demonstrated their need to the satisfaction of the Town of New Windsor. The County recommends that parking spaces to be eliminated or "reserved" be those now proposed for closest to the perimeter of the site, facing the road and the adjacent lot.

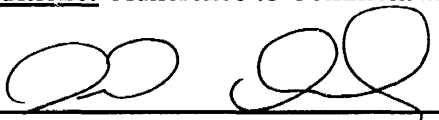
- And extensive landscaping plan should be considered for the perimeter of the site and should be especially effective in buffering all proposed parking areas.
3. The County recommends that the applicant be required to include the placement of sidewalks along State Route 94 and that the Town of New Windsor consider the extension of them along the road, toward the major intersection of Routes 94, 300 and 32.

County Recommendation:

Approval subject to the following modifications and/or conditions: Adherence to Comment #2

Date: May 7, 2007

Prepared by: Atticus Lanigan, Planner



David Church, AICP
Commissioner of Planning

RESOLUTION GRANTING AMENDED SITE PLAN APPROVAL

Windsor Gate Plaza Expansion
PB #07-09

WHEREAS, an application was made to the Planning Board of the Town of New Windsor for approval of a site plan by Rhoda Ciancio (the "applicant") for a project described as the "Windsor Gate Plaza Expansion";

WHEREAS, the subject site consists of 2.88 acres of land and comprised of three tax map parcels in the Town of New Windsor identified on the tax map as section 67, block 4, and lots 17, 18.1, and 18.2 (SBL 67-4-17, 67-4-18.1, and 67-4-18.2) located at 1124 Route 94, New Windsor, New York; and

WHEREAS, the site is currently improved by an existing two-story structure of approximately 7,590 square feet;

WHEREAS, the action involves a request for an amended site plan approval for a two-story addition of 8,000 square feet, and related site improvements; and

WHEREAS, the applicant has submitted a fully executed short form Environmental Assessment Form ("EAF") pursuant to the New York State Environmental Quality Review Act ("SEQRA"); and

WHEREAS, the Planning Board conducted an uncoordinated SEQRA review for this project; and

WHEREAS, during the course of the Planning Board's review of the Applicant's proposed site plan layout, the Planning Board received and considered comments from the public as well as the Town's consultants; and

WHEREAS, in accordance with the Planning Board's authority under Town Code § 300-86, the Planning Board waived the public hearing on the amended site plan; and

WHEREAS, the application and related materials were referred to the Orange County Planning Department ("OCDP") for its review pursuant to the requirements of the General Municipal Law § 239-m on March 16, 2007, and OCDP responded on May 7, 2007 recommending approval subject to certain comments; and

WHEREAS, the Planning Board has carefully considered all of the comments raised by the public, the Board's consultants, and other interested agencies, organizations and officials,

including those presented at numerous meetings of the Board as well as those submitted separately in writing; and

WHEREAS, the applicant has submitted a proposed site plan consisting of 2 sheets, prepared by Alfred Cappelli, Jr. & Associates, P.C. dated February 8, 2007 and last revised on March 19, 2007; and

WHEREAS, the Planning Board has heretofore determined that the Proposed Action minimizes or avoids significant environmental impacts and, adopted a Negative Declaration as part of the approval of the prior site plan.

NOW, THEREFORE, the Planning Board finds that the applicant has satisfied the requirements of Town Code § 300-86 and approves the amended site plan subject to the following terms and conditions:

1. The applicant shall pay all outstanding fees due the Town for review of this application;
2. The applicant shall make any required revisions to the site plan to the satisfaction of the Planning Board Engineer and Planning Board Attorney;
3. The applicant shall secure all necessary permits, approvals and authorizations required from any other agency, if required;
4. The applicant shall correct the parking table on the amended site plan to reflect the total of 110 parking spaces, of which 5 shall be reserved for handicap use;
5. All conditions imposed by the Planning Board as part of its approval of the original site plan shall apply to this amended site plan; and
6. The applicant shall submit proof of satisfaction of the foregoing conditions and submit a site plan for signature within 360 days of the date of this resolution. The Planning Board hereby grants the two (2) ninety (90) day extensions as authorized by Town Code § 300-86(E)(1). This approval will expire on May 3, 2008, and no further extensions can be granted.

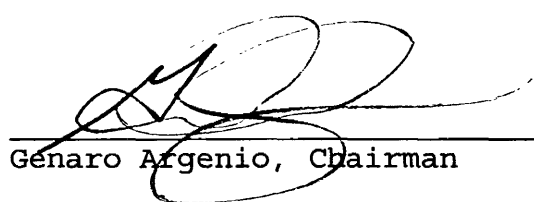
Please
Take
Note →

Upon motion made by Member Vanleeuwen, seconded by Member Schlesinger, the foregoing resolution was adopted as follows:

Member, Daniel Gallagher	<u>Aye</u>	Nay	Abstain	Absent
Member, Howard Brown	<u>Aye</u>	Nay	Abstain	Absent
Member, Neil Schlesinger	<u>Aye</u>	Nay	Abstain	Absent
Member, Henry Vanleeuwen	<u>Aye</u>	Nay	Abstain	Absent
Chairman, Genaro Argenio	<u>Aye</u>	Nay	Abstain	Absent

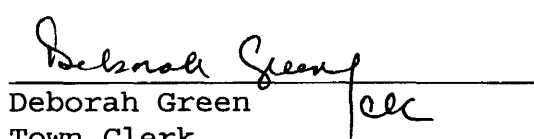
Alternate, Henry Schieble	Aye	Nay	Abstain	Absent
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Dated: May 9, 2007
New Windsor, New York

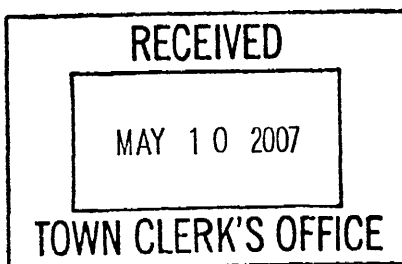


Genaro Argenio, Chairman

Filed in the Office of the Town Clerk on this 10th day of May, 2007.



Deborah Green
Town Clerk





May 9, 2007

P.B. # 07-09

Correct parking tables

May 9, 2007 Agenda

to Myra

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/14/2007

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 7-9

NAME: WINDSOR GATE PLAZA EXPANSION PA2004-1511

APPLICANT: RHODA CIANCIO

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/26/2007	REC. CK. #5112	PAID		250.00	
03/14/2007	P.B. MINUTES	CHG	84.00		
05/09/2007	P.B. MINUTES	CHG	35.00		
05/09/2007	P.B. ATTY (CORDISCO)	CHG	420.00		
06/07/2007	P.B. ENGINEER FEE	CHG	487.90		
06/13/2007	REC. CK. #2534	PAID		776.90	
		TOTAL:	1026.90	1026.90	0.00

rec
J. Jannigan
6-15-07

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/09/2007

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 7-9

NAME: WINDSOR GATE PLAZA EXPANSION PA2004-1511
APPLICANT: RHODA CIANCIO

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
ORIG	02/26/2007	MUNICIPAL HIGHWAY	/ /	
ORIG	02/26/2007	MUNICIPAL WATER	/ /	
ORIG	02/26/2007	MUNICIPAL SEWER	/ /	
ORIG	02/26/2007	MUNICIPAL FIRE	03/14/2007	APPROVED
ORIG	02/26/2007	NYS DOT	/ /	

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/09/2007

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 7-9

NAME: WINDSOR GATE PLAZA EXPANSION PA2004-1511
APPLICANT: RHODA CIANCIO

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	02/26/2007	EAF SUBMITTED	02/26/2007	WITH APPLIC
ORIG	02/26/2007	CIRCULATE TO INVOLVED AGENCIES	/	/
ORIG	02/26/2007	LEAD AGENCY DECLARED	/	/
ORIG	02/26/2007	DECLARATION (POS/NEG)	/	/
ORIG	02/26/2007	SCHEDULE PUBLIC HEARING	/	/
ORIG	02/26/2007	PUBLIC HEARING HELD	/	/
ORIG	02/26/2007	WAIVE PUBLIC HEARING	/	/
ORIG	02/26/2007	FINAL PUBLIC HEARING	/	/
ORIG	02/26/2007	PRELIMINARY APPROVAL	/	/
ORIG	02/26/2007	LEAD AGENCY LETTER SENT	/	/

WINDSOR_GATE_PLAZA_EXPANSION_AMENDED_SITE_PLAN_(07-09)

MR. ARGENIO: Windsor Gate Plaza. This application proposes some adjustments to the recent site plan approved. The amendment was reviewed on a concept basis only. Sir, can you please give your name for the benefit of the stenographer, please?

MR. CAPPELI: Alfred Cappeli, architect, C-A-P-P-E-L-I, I'm a project architect for the building. We submitted to the board a little verbiage as to some of the changes that we recommended when I was brought in to design the building, hopefully to enhance the building and the site plans plan, so if I might, I'll go over it.

MR. ARGENIO: Can I interrupt? For the benefit of everybody, myself included, what's the genesis of you're doing this? It's my understanding that this application already had approval at a prior date now you're here because?

MR. CAPPELI: I'm the project architect, unfortunately, I was brought in after the fact and I see some--

MR. ARGENIO: So they may have fired their prior engineer, that's possible?

MR. CAPPELI: There's no doubt he's been paid, he's gone, he finished getting his site plan approval through this board and he's done. He was never going to be the project architect for the building so I'm stepping not a little bit, you know, above and beyond but I think that there's some positive changes that could be made.

MR. ARGENIO: The other engineer satisfied his obligation to his clients, was paid or not, we don't care, it's none of our business and then they hired you?

MR. CAPPELI: To design the building.

MR. ARGENIO: Very good, thank you.

MR. CAPPELI: Okay, that being said, some of the changes that at least we'd like to suggest to the board one of the things in designing the building is to the right side of the building we're suggesting an exit stair tower, again, I'm brought in after the fact, I need two means of egress, I have to have a stair tower, I can take it out of within the building envelope but Mr. Brown, the previous engineer, happened to give me a very large sidewalk and I have the previously approved plan which allowed me to put an external stairwell if you will beyond the footprints of the original, of the original building envelope.

MR. ARGENIO: Have you moved the curb cut at all?

MR. CAPPELI: I did not. Is that's one change. Between the two buildings I'll call the existing building and the proposed addition, there was a 12 foot I'll call it breezeway connected on the second floor open on the first floor, I think it's a problem, I think it's a mistake, I think architecturally they should be connected on two floors. I'd like to create a two story atrium for vertical circulation, stairs, elevator, et cetera, I just felt that 12 foot alleyway is going to become nothing more than a dirt collector, garbage, et cetera.

MR. ARGENIO: You're probably right.

MR. CAPPELI: I've added that to the scope of the changes. The square footages of the building is existing and proposal has been changed to accommodate the parking, for instance, in the previous application the engineer had the first and the second floor of the existing building exactly the same square footage but

if you go over there, there's a five foot cantilever in the front of the existing building, how could the square footages be the same. So I corrected that. Also on the proposed building, the engineer had a five foot cantilever on the second floor of the proposed addition, my plans do not include that. So when all the dust settles and I add up the new square footages even including the stair tower into the square footage mix and the lobby I still have enough parking to satisfy the zoning ordinance. Change number 4 in front of the existing building I felt that the sidewalk existing five feet wasn't going to be changed, I felt that with vehicle overhangs, the car overhangs the sidewalk gives very little room to open up a door and pass by so I even increased that to eight feet from five feet, this original aisleway I believe was 28 feet and I reduced it to 25 feet.

MR. ARGENIO: Say that again.

MR. CAPPELI: So this parking area here opposite the existing building, the sidewalk was five feet, I increased it to eight feet, I had to take the--

MR. ARGENIO: Did you change the pavement aisle width?

MR. CAPPELI: I changed this pavement aisle width, yes, I did.

MR. ARGENIO: I'm questioning the aisle width, what did you say, Myra?

MS. MASON: Fire inspector when he was doing his review he saw that it was reduced to 25, he said he had enough with the back, most of the side on the left, the back and the other side and most of the front being 30 that little spot there really didn't matter much.

MR. CAPPELI: To the rear of the original site plan the original engineer had a series of parking spaces, the

lower floor being retail I just felt for access for delivery trucks in the rear of retail stores I want to get access to it so I eliminated the parking spaces and I created a quote unquote no park delivery fire zone, actually this area becomes even wider than it originally was. As a by-product of eliminating these spaces here I redesigned this row of parking to the rear in order to get proper number of parking spaces in, the way the previous engineer had it you can see for yourself not that there's anything wrong with it, we just felt that this worked a little bit better. So one of the few spaces I lost here I picked up along the rear property line so that curb line remains so that curb line as you can see it on the original site plan did not change, I just happened to take a few spaces from here, create some parking back here to give me some parking. In lieu of there was a very large planter right in the center opposite my entrance and I could see perhaps coming in the entrance and wanting to see green as opposed to paving. What I'm proposing here is to create a plaza, take that big massive planter that we know is going to become overgrown over years and block, you know, my stores and block my entrance which I'm trying to create that atrium if you will and created a plaza, same size, same footprint with several small planters, with some trees and perhaps some benches just to create something to be a little bit more open. And those are pretty much the changes. There's one other change that was made that I failed to mention. I went over this with Mark as well I changed the location of some of the handicapped spaces, there was some handicapped spaces in front of the existing building, I took them and I moved them over here and I added several back here, there's a back entrance, there's a front entrance, I just felt that opposite the existing deli and hair store if I was to put handicapped parking here I'm restricting access even more to those stores. I wanted to give these stores here as many parking spaces opposite their store if you will as possible and I just took those

handicapped spaces and moved them on this side of my planter.

MR. ARGENIO: On that little plaza area that he just described, is there any issue code wise with like having to have a cafe license or some such thing if there's benches out there or does that go away with no eatery or tables?

MR. EDSALL: Yeah, it's passive recreation.

MR. ARGENIO: I think it's a good idea, I just want to keep you out of trouble.

MR. EDSALL: I don't believe that's any problem.

MR. CAPPELI: I do have preliminary floor plans, I do have a preliminary exterior facade in the front if you're interested in seeing it.

MR. ARGENIO: I think you've done a good job here, I think that, you know, we have requirements in codes that we can enforce but within those codes and requirements there's certainly bad designs and good designs and we don't have the ability to regulate between the two, we can enforce the code but--

MR. VAN LEEUWEN: Do you need an elevator?

MR. CAPPELI: Absolutely I need an elevator and so and perhaps the original engineer was going to get it within the confines of a footprint itself so--

MR. ARGENIO: Mark, that elevator issue that's more--Henry's correct--

MR. EDSALL: That's a building department issue when they submit the building plans.

MR. MINUTA: That's happening within the building

envelope.

MR. CAPPELI: That's happening now in my new atrium that I'm creating in the center there between the two buildings. What I'd like to do is come up with a vertical circulation here and go two ways on the second floor, kind of makes sense. This building already has a back set of stairs, this building will have now at the end of, you know, possibly a central hallway.

MR. ARGENIO: How many handicapped spaces do you have?

MR. CAPPELI: Four, five, six.

MR. ARGENIO: Five are required. I'm reading from Mark's comments five handicapped spaces are required, if you don't, you need five.

MR. EDSALL: I believe that's right if he's between 100 and 125 it's five spaces.

MR. CAPPELI: I may be remiss, I may have to squeeze out another, I see 1, 2, 3, 4, I thought I had 5.

MR. EDSALL: I thought you did as well until I looked at the plan on this version.

MR. ARGENIO: I want to read this into the minutes, Mark's comments, this site plan remains subject to all the detailed requirements called for on the plan with stamp of approval dated 8/18 of '06, other than specifically modified on this amendment plan all improvements on the original plan remain in full force and effect as a requirement of the site plan with such layouts to be modified based on the amended revised layout.

MR. CAPPELI: Absolutely, matter of fact, we have a note on our site plan referencing Mr. Brown's drainage plans, landscaping plans, lighting plans.

MR. ARGENIO: Great, I'd like this verbiage on there as well.

MR. CAPPELI: It's on there now.

MR. ARGENIO: The verbiage that I just read?

MR. CAPPELI: I'll put yours on there, no problem, Mark's version.

MR. ARGENIO: Dominic, can you tell me about the negative dec that was previously declared under SEQRA process, does it still hold true for this new one or do we have to do a negative dec on this?

MR. CORDISCO: Well, I think you can affirm--

MR. ARGENIO: It's the same project.

MR. CORDISCO: It's a new application, it's a new application, even though it's amending a prior approval he's essentially, I think we have an updated EAF that's been submitted and you could rely on your prior negative dec but simply reaffirm it.

MR. ARGENIO: I will accept a motion we declare negative dec.

MR. VAN LEEUWEN: So moved.

MR. MINUTA: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board declare a negative dec on the Windsor Gate Plaza expansion site plan. If there's no further discussion, roll call.

ROLL CALL

MR. BROWN	AYE
MR. MINUTA	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

MR. ARGENIO: Dominic, I'm leaning on you a little bit tonight, I'm going to lean on you for the Orange County Planning Department referral, I would say it probably has to go too.

MR. CORDISCO: Yes, it does.

MR. MINUTA: Is there a landscaping plan approved?

MR. EDSALL: There's already a full set of plans approved, what's being proposed and we need to hear anything contrary, if there is, in prior cases where some tweaking and adjustments were made beyond what's normally considered a field change the board reapproves or approves an amendment and the task Mike and I have in the field is to basically take all the improvements that were on the original plan and make them adjust to this plan, it's not a significant change but we basically make this plan mold into what was already approved.

MR. MINUTA: Ironically enough, I do feel that the site plan modification and the proposal is a significant change to the existing site as well as site plan.

MR. ARGENIO: It's certainly a significant change from the existing site but what we have to go off of is the one that was approved 8/18 of '06.

MR. MINUTA: Do you have a landscape plan from that date?

MR. CAPPELI: I don't believe I do, I mean, the confines of the parking and everything this remains exactly the same. This is exactly the same, none of

March 14, 2007

37

that has changed, all I did was reconfigure the parking so in terms of drainage in terms of the things of that nature and whatever bushes and plantings he had around the perimeter which was really the only area that you were limited to as you can see in green that has remained unchanged in terms of that small little strip.

MR. VAN LEEUWEN: Address it, clean it up a little bit, I'd like to see a flag pole there too.

MR. CAPPELI: If we were the original engineers I would have amended all the plans obviously and I don't want--

MR. ARGENIO: Mr. Minuta and Mr. Van Leeuwen?

MR. MINUTA: I'm very pleased, I will go on the record saying I'm very pleased to see this happen.

MR. ARGENIO: So we're going to be looking for a landscaping plan and you're going to be referred to the Planning Department so you have time to do that and as you pointed out just now the changes are going to be minimal so I would focus on that park area in the front and give us some type of landscaping plan next time you come in front of us. Do we have to do anything with lead agency?

MR. CORDISCO: Nothing for lead agency, no.

MR. ARGENIO: Again, we're going to go to number 5 and Mark's comments and talk about a public hearing. Now you have the drilling company on one side, you have railroad in the back and Mr. Peterson, how does the board feel about a public hearing? Howard, do you have any thoughts?

MR. BROWN: Who's on the side?

MR. ARGENIO: Railroad in the back, the well driller on the other side and you have some person named Peterson

to the west.

MR. VAN LEEUWEN: There's a lot of houses there, I think we should have a public hearing, Mr. Chairman.

MR. MINUTA: We have already had approval on this, it's an amendment.

MR. EDSALL: You did have a public hearing on February 22, 2006.

MR. ARGENIO: Henry, as far as I'm concerned what they're putting up here is better than what they had.

MR. EDSALL: Not to belabor the landscaping issue but I'm looking at, I was lucky to bring that full file, other than the stairway tower on the, what's that, the east end which still leaves room for landscaping, there are no areas where landscaping was approved by this board that have changed, so effectively we could impose the exact same landscaping this board approved.

MR. ARGENIO: You guys okay with that?

MR. EDSALL: Other than the area that has been explained at that entrance to change it, to put potted plants instead of one big large planting area.

MR. ARGENIO: I certainly don't have a problem but I defer to you.

MR. MINUTA: This will be a series of large planters?

MR. CAPPELI: We haven't gone to that level, something, maybe aboveground planters or inground planters.

MR. MINUTA: Trees?

MR. CAPPELI: Small trees, small canopy trees, no big maples or oak type trees.

MR. ARGENIO: You're on the record.

MR. CAPPELI: Not a problem at all and I have no problem at some point in time to submit a little something because I'm going to have prepare something for the contractor eventually for him to do so at some point in time there will be something.

MR. EDSALL: Why don't you add a note that says that the large landscaping area is going to be replaced with some ornamental trees so that what layout you apply is your client and your business but make sure we do get ornamental trees there.

MR. CAPPELI: Am I coming back here next month?

MR. ARGENIO: You have to by law because of the Orange County Planning Department.

MR. CAPPELI: So it's nothing for me to add that information for next month.

MR. MINUTA: I'm fine with that and I do appreciate the addition of that plaza and what you have done.

MR. ARGENIO: I Agree, I think that's a good idea. So we had the public hearing at the last approval so if anybody sees fit, I'll accept a motion that we waive the public hearing.

MR. VAN LEEUWEN: So moved.

MR. MINUTA: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board waive the public hearing for the Windsor Gate Plaza expansion amended site plan. No further discussion, roll call.

March 14, 2007

40

ROLL CALL

MR. BROWN	AYE
MR. MINUTA	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

MR. ARGENIO: Anything else we need to do?

MR. EDSALL: No, we'll take care of the referral to the County.

MR. ARGENIO: Sir, the directions clear? Yes? Don't forget about the flag pole with a flag as the old joke goes.

MR. CAPPELI: Not a problem.

MR. CORDISCO: Given the fact that we have to refer this to County Planning and it had been referred in the past and they returned it back with a local determination, I think we should just include that when we send it back to the County.

MR. EDSALL: I'll send a copy.

MR. ARGENIO: Absolutely, why wouldn't you include that, Dominic?

MR. CORDISCO: I think you should.

MR. ARGENIO: That's it, thank you.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE

**33 AIRPORT CENTER DRIVE
SUITE 202**

NEW WINDSOR, NEW YORK 12553

(845) 567-3100

FAX: (845) 567-3232

E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:

MJE@MHEPC.COM

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: WINDSOR GATE PLAZA SITE PLAN AMENDMENT
PROJECT LOCATION: NYS ROUTE 94 (West of 5-corners)
SECTION 67 - BLOCK 4 - LOTS 17, 18.1 & 18.2
PROJECT NUMBER: 07-09
DATE: 14 MARCH 2007
DESCRIPTION: THE APPLICATION PROPOSES SOME ADJUSTMENTS TO THE
RECENT SITE PLAN APPROVAL (APP. NO. 05-29). THE
AMENDMENT WAS REVIEWED ON A CONCEPT BASIS ONLY.

1. The first question I submit is one which should be asked to the applicant. The prior approval required that the three lots be combined to a single deed lot and provide documentation to the Planning Board in support of same. The application and plan submitted for this amendment indicates it is still three lots. Is that in error ?
2. Based on my review, the amendment makes the following changes, in general:
 - Reorient parking at rear of site to parallel railroad property line, and relocate and reorient dumpster.
 - Increase front parking spaces along building, increase sidewalk width, modify landscaping arrangement at entry.
 - Provide building ingress/egress at east end.
 - Free up rear of building for deliveries (ie eliminate parking spaces against rear of building).

REGIONAL OFFICES

• 111 WHEATFIELD DRIVE - SUITE ONE • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

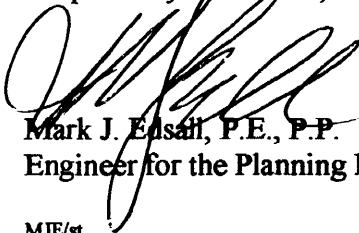
3. The changes all seem to be an improvement. My only comments are as follows:

- Five (5) handicapped spaces are required by code.
- The following note should be added to the plan:

“This site plan remains subject to all the detailed requirements called for on the plan with stamp of approval dated 8-18-06 other than as specifically modified on this amendment plan. All improvements required on the original plan remain in full force and effect as a requirement of the site plan, with such layout to be modified based on the amendment revised layout”

4. The Board previously reached a SEQRA “neg dec” determination for this site. It is my belief that the amendments shown on this application are minor in nature and the previous determination remains valid. The Board should discuss with the Attorney for the Planning Board if a new “neg dec” should be determined.
5. The Planning Board should determine, for the record, if a Public Hearing will be required for this Site Plan Amendment, per its discretionary judgment under Paragraph 300-86 (C) of the Town Zoning Local Law.
6. The prior application was referred to the OCPD on 9-19-05, and was returned “Local Determination”. The Board should discuss with the Attorney for the Planning Board the need for a new referral, given the minor nature of the changes.

Respectfully Submitted,



Mark J. Ensal, P.E., P.P.
Engineer for the Planning Board

MJE/st
NW07-09-14Mar07.doc



RESULTS OF P.B. MEETING OF: March 14, 2007

PROJECT: Windsor Gate Plaza P.B. # 07-09

LEAD AGENCY: Prior L.A.

NEGATIVE DEC:

AUTHORIZE COORD. LETTER: Y N

M) S) VOTE: A 4 N 0

TAKE LEAD AGENCY: Y N

CARRIED: Y ✓ N

M) S) VOTE: A N

CARRIED: Y N

PUBLIC HEARING: WAIVED: ✓ CLOSED:

M) ✓ S) M VOTE: A 4 N 0 SCHEDULE P.H.: Y N ✓

SEND TO O.C. PLANNING: Y ✓

SEND TO DEPT. OF TRANSPORTATION: Y

REFER TO Z.B.A.: M) S) VOTE: A N

RETURN TO WORK SHOP: Y N

APPROVAL:

M) S) VOTE: A N APPROVED:

NEED NEW PLANS: Y N

CONDITIONS - NOTES:

<u>Add Note to plan as stated by Mark's Comments</u>
<u>Need flagpole</u>
<u>Need Landscaping plan Add Note for planting</u>
<u>Include Original O.C.P. referral</u>

March 14, 2007 Agenda

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 03/14/2007

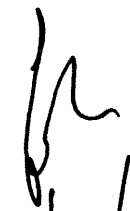
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LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 7-9

NAME: WINDSOR GATE PLAZA EXPANSION PA2004-1511
APPLICANT: RHODA CIANCIO

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/26/2007	REC. CK. #5112	PAID		250.00	
		TOTAL:	0.00	250.00	-250.00


3/21/07

WINDSOR GATE PLAZA EXPANSION
1124 ROUTE 94
TOWN OF NEW WINDSOR, NY

CHANGES MADE TO ORIGINAL SITE PLAN

1. Stair tower added to the side of the new addition to facilitate an additional means of egress from the upper level (2nd floor) of the proposed addition.
2. Between the old building and new addition, originally there was a 12'-0" separation which was totally open on the 1st floor but did have a physical connection on the 2nd floor. We felt that the 1st floor should be enclosed as well and we created a 2 story atrium connecting the new and old with stairs and elevator and this connection space is used as a lobby only.
3. The square footage for the buildings, existing and proposed, has been changed. The original building square footage was incorrect, and is actually more than the original site plan suggests. The new addition now has the same square footage for the 1st and 2nd floor as opposed to a higher area on the original site plan. We have also added the square footage of our lobby/vestibule and stair tower and we have the same number of parking spaces as the previous site plan.
4. The sidewalk in front of the existing building was shown as 5'-0" and we felt that it should be a little wider and we have increased this to 8'-0" to facilitate car overhangs, door swings, etc., to ease pedestrian circulation.
5. To the rear of the new addition on the original site plan, there was shown parking. We feel that since both the existing and new addition would be retail on the first floor that the rear of the building should be unencumbered with parking and be strictly a loading zone.
6. As a result of the elimination of some of the parking in the rear of the new addition, where we created the loading zone, we then re-designed the parking lot, within the exact confines of the curbing and blacktop area of the original site plan and re-distributed parking without losing any spaces. This only happened in the rear, along the rear property line. All parking in the front and to the side is virtually the same.
7. In lieu of the large planter in the front of the new building opposite the main entry to the site, we have created a plaza with smaller planters. We felt the massive planter originally shown would become overgrown and hide several storefronts and the lobby entrance we added. The open plaza in the front with a few smaller trees and several benches will create a more open and inviting feel to the entrance to the plaza.

07-09

**FIRE INSPECTOR'S
INTER-OFFICE CORRESPONDENCE**

TO: Genaro Argenio, Planning Board Chairman

FROM: Francis Bedetti, Asst. Fire Inspector 

SUBJECT: 67-4-18.1, 18.2 & 17

DATE: March 14, 2007

Fire prevention Reference number: FPS-07-009

A review of the above referenced plan has been conducted and is acceptable.

ORANGE COUNTY DEPARTMENT OF PLANNING

124 Main Street
Goshen, NY 10924-2124

APPLICATION FOR MANDATORY COUNTY REVIEW OF LOCAL PLANNING ACTION

(Variances, Zone Changes, Special Permits, Subdivisions, Site Plans)

Local File No. 07-09 (Please include this number on any correspondence)

1. Municipality Town of New Windsor Public Hearing Date: not req'd

City, Town or Village Board _____ Planning Board X Zoning Board _____

2. Owner: Name: Rhoda Ciano
Address: 1124 Route 94, New Windsor, NY 12553

3. Applicant * Name: same
Address: _____

***If applicant is owner, leave blank**

4. Location of Site: NYS Route 94 (just west of Thruway)
(Street or highway, plus nearest intersection)

Tax Map Identification: Section: 67 Block: 4 Lot: 17,18.1,18.2

Present Zoning District: NC Size of Parcel: 2.8+ Acres

5. Type of Review:

***Site Plan


Zone Change: From = To: =

Zoning Amendment: To Section _____

**Subdivision: Number of Lots/Units _____

***Site Plan: Use Office & Retail (**NOTE this is a minor layout amendment to previous application 05-29. See previous OCDP report attached).

Date: 3-16-07

Signature & Title: Mark J. Edsall, P.E.
Mark J. Edsall, P.E., 
Planning Board Engineer

PLANNING BOARD
TOWN OF NEW WINDSOR
555 UNION AVENUE
NEW WINDSOR, N.Y. 12553

Appl No: 7-9

File Date:02/26/2007

SEC-BLK-LOT:67-4-17-0

Project Name:WINDSOR GATE PLAZA EXPANSION PA2004-1511

Type:3

Owner's Name:RHODA CIANCIO
Address:1124 RT. 94 NEW WINDSOR, NY

Phone:

Applicant's Name:RHODA CIANCIO
Address:1124 RT. 94 NEW WINDSOR, NY

Phone:

Preparer's Name:ALFRED CAPELLI, JR.
Address:792 RT. 82 HOPEWELL JCT. NY 12533

Phone:(845) 226-7943

Proxy/Attny's Name:
Address:

Phone:

Notify:ALFRED CAPELLI, JR.

Phone:

Location:RT. 94 67-4-17 18.1 18.2

Acreage	Zoned	Prop-Class	Stage	Status
2.880	NC	0		0
Printed-on	Schl-Dist	Sewr-Dist	Fire-Dist	Light-Dist
04/05/2007	NEWB			

Appl for:PROPOSED RETAIL/OFFICE ADDITION TO EXISTING BUILDING

Addl Municipal Services:
Streets:
Water:
Sewer:
Garbage:



COUNTY OF ORANGE

EDWARD A. DIANA
COUNTY EXECUTIVE

DEPARTMENT OF PLANNING

124 MAIN STREET
GOSHEN, NEW YORK 10924-2124
TEL: (845)291-2318 FAX: (845)291-2533
www.orangecountygov.com
planning@co.orange.ny.us

DAVID E. CHURCH, AICP
COMMISSIONER

ORANGE COUNTY DEPARTMENT OF PLANNING 239 L, M OR N REPORT

This proposed action is being reviewed as an aid in coordinating such action between and among governmental agencies by bringing pertinent inter-community and countywide considerations to the attention of the municipal agency having jurisdiction.

Referred by: New Windsor Planning Board

Reference No.: NWT16-05M
Parcel I.D.: 67-4-18.1; 18.2; & 17

Applicant: Ciancio Corp

Proposed Action: Site Plan & Lot Line changes

State, County, Inter-municipal Basis for Review: Within 500 ft of ST RTE 94

Comments: The Department has received the above application, and offer the following:

- The plans show a 12' space between the buildings, has consideration been given to create a connection between them?
- It is recommended that landscaping of the site, perhaps between the two buildings, should be included in the proposed plan.
- Having no further comments, from a County perspective, the Department has no further comments and recommends that the Planning Board proceed with its decision-making review process.

Related Reviews and Permits:

County Recommendation:

Local Determination

Disapproved

Approved

Approved subject to the following modifications and/or conditions:

Date: September 27, 2005

Reviewed By: Kathy V. Murphy, Planner

David E. Church, AICP
Commissioner of Planning



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

☐ **Main Office**

33 Airport Center Drive

Suite #202

New Windsor, New York 12553

(845) 567-3100

e-mail: mheny@mhepc.com

☐ **Regional Office**

507 Broad Street

Milford, Pennsylvania 18337

(570) 296-2765

e-mail: mhepa@mhepc.com

Writer's E-mail Address:

mje@mhepc.com

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN / VILLAGE OF: N.W.

P/B APP. NO.: 100-3

WORK SESSION DATE: 2-7-07

PROJECT NEW **OLD**

REAPPEARANCE AT W/S REQUESTED:

RESUB. REQ'D:

PROJECT NAME: Windsor Gate S/P Am

REPRESENTATIVES PRESENT: Rhoda/-

MUNICIPAL REPS PRESENT:

BLDG INSP. _____

PB ATTY. _____

FIRE INSP. _____

PLANNER _____

MHE REP (MJE) (Other) _____

P/B CHMN _____

OTHER _____

ITEMS DISCUSSED:

STND CHECKLIST:

**PROJECT
TYPE**

DRAINAGE _____

DUMPSTER _____

SCREENING _____

LIGHTING _____

(Streetlights)

LANDSCAPING _____

BLACKTOP _____

ROADWAYS _____

APPROVAL BOX _____

SITE PLAN

SPEC PERMIT

L L CHG.

SUBDIVISION

OTHER

PROJECT STATUS:

ZBA Referral:

___ Y ___ X ___ N

Ready For Meeting

X Y ___ N

Recommended Mtg Date next avail

Appendix C
State Environmental Quality Review
SHORT ENVIRONMENTAL ASSESSMENT FORM
For UNLISTED ACTIONS Only

PART I - PROJECT INFORMATION (To be completed by Applicant or Project Sponsor)

1. APPLICANT/SPONSOR RHODA CIANCIO	2. PROJECT NAME WINDSOR GATE PLAZA EXPANSION AMENDED SITE PLAN
3. PROJECT LOCATION: 1124 ROUTE 94 Municipality T/O NEW WINDSOR County ORANGE	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) 1124 ROUTE 94 APPROX 1/2 MILE WEST OF ROUTES 94, 300 & 32 INTERSECTION	
5. PROPOSED ACTION IS: <input type="checkbox"/> New <input checked="" type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: PROPOSED 3,940 SQ FT RETAIL / OFFICE BUILDING ADDITION	
7. AMOUNT OF LAND AFFECTED: Initially 2.88 acres Ultimately 2.88 acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open Space <input type="checkbox"/> Other Describe: RETAIL / COMMERCIAL	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, list agency(s) name and permit/approvals: TOWN OF NEW WINDSOR PLANNING BOARD - SITE PLAN (AMENDED)	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, list agency(s) name and permit/approvals: TOWN OF NEW WINDSOR PLANNING BOARD - SITE PLAN	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: RHODA CIANCIO Date: FEB 8, 2007 Signature: X	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment



07-09

PART II - IMPACT ASSESSMENT (To be completed by Lead Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, coordinate the review process and use the FULL EAF.
B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible) C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic pattern, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly: <div style="text-align: center; margin-top: 10px;">No</div> C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly: <div style="text-align: center; margin-top: 10px;">No</div> C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly: <div style="text-align: center; margin-top: 10px;">No</div> C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly: <div style="text-align: center; margin-top: 10px;">No</div> C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly: <div style="text-align: center; margin-top: 10px;">No</div> C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly: <div style="text-align: center; margin-top: 10px;">No</div> C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly: <div style="text-align: center; margin-top: 10px;">NONE</div>	
D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CRITICAL ENVIRONMENTAL AREA (CEA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, explain briefly:	
E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, explain briefly:	

PART III - DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question D of Part II was checked yes, the determination of significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

- ☐ Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.
- ☐ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide, on attachments as necessary, the reasons supporting this determination.

Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from responsible officer)

Resat

07-09

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (845) 563-4615
Fax: (845) 563-4689

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

Subdivision____ Lot Line Change____ Site Plan X Special Permit____

Tax Map Designation: Sec. 67 Block 4 Lot 17, 18, 1 & 18, 2

BUILDING DEPARTMENT PERMIT NUMBER:

PA 2004 - 1511 (05-29)
MUST FILL IN THIS NUMBER

1. Name of Project Windsor Gate Plaza Expansion

2. Owner of Record Rhoda Ciano Phone _____

Address: 1124 Route 94 New Windsor NY 12553
(Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant Rhoda Ciano Phone _____

Address: 1124 Route 94 New Windsor, NY 12553
(Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan Alfred Cappelli, Jr. Architect Phone 845-226-7943

Address: 792 Route 82 Hopewell Jct, NY 12533
(Street Name & Number) (Post Office) (State) (Zip)

5. Attorney _____ Phone _____

Address _____
(Street Name & Number) (Post Office) (State) (Zip)

6. Person to be notified to appear at Planning Board meeting:

Alfred Cappelli, Jr. 845-226-7943 845-226-6642
(Name) (Phone) (fax)
Architect

7. Project Location: On the North side of NYS Route 94
(Direction) (Street)

8. Project Data: Acreage 2.88 Zone NC School Dist. _____

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes _____ No X

***This information can be verified in the Assessor's Office.**

***If you answer yes to question 9, please complete the attached Agricultural Data Statement.**

10. Detailed description of Project: (Use, Size, Number of Lots, etc.) Proposed
81,940 sq. ft. retail/office building
addition to existing building

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes _____ no _____

12. Has a Special Permit previously been granted for this property? yes _____ no _____

IF THIS APPLICATION IS SIGNED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

9th DAY OF February 2007

X [Signature]
(OWNER'S SIGNATURE)

(AGENT'S SIGNATURE)

[Signature]
NOTARY PUBLIC

Please Print Agent's Name as Signed
DEBORAH GREEN
Notary Public, State of New York
Qualified in Orange County
#4984065
Commission Expires July 15, 2007

TOWN USE ONLY:

ENTERED MAR - 5 2007

DATE APPLICATION RECEIVED

07-03

APPLICATION NUMBER

AGENT/OWNER PROXY STATEMENT
(for professional representation)

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD

RHODA CIANCIO, deposes and says that he resides
(OWNER)
at 1124 ROUTE 94 in the County of ORANGE
(OWNER'S ADDRESS)
and State of NEW YORK and that he is the owner of property tax map
(Sec. 67 Block 4 Lot 18.1 & 18.2)
designation number (Sec. 67 Block 4 Lot 17) which is the premises described in
the foregoing application and that he designates:
ALFRED CAPPELLI JR. - ARCHITECT
(Agent Name & Address)
792 ROUTE 82 HOPEWELL JUNCTION, N. Y.
(Name & Address of Professional Representative of Owner and/or Agent)

as his agent to make the attached application.

**THIS DESIGNATION SHALL BE EFFECTIVE UNTIL WITHDRAWN BY THE OWNER OR
UNTIL TWO (2) YEARS FROM THE DATE AGREED TO, WHICH EVER IS SOONER.**

SWORN BEFORE ME THIS:

9th DAY OF February 2001

** Rhoda L. Cincio
Owner's Signature (MUST BE NOTARIZED)

Agent's Signature (If Applicable)

Deborah Green
NOTARY PUBLIC

Alfred Capelli Jr.
Professional Representative's Signature

**** PLEASE NOTE: ONLY OWNER'S SIGNATURE MUST BE NOTARIZED.**

THIS PROXY SHALL BE VOID TWO (2) YEARS AFTER AGREED TO BY THE OWNER

DEBORAH GREEN
Notary Public, State of New York
Qualified in Orange County
#4984065
Commission Expires July 15, 2001

07-09

TOWN OF NEW WINDSOR PLANNING BOARD

SITE PLAN CHECKLIST

ITEM

1. ✓ Site Plan Title
2. ✓ Provide 4" wide X 2" high box (**IN THE LOWEST RIGHT CORNER OF THE PLAN**) for use by Planning Board in affixing Stamp of Approval. (ON ALL PAGES OF SITE PLAN).

SAMPLE:



3. ✓ Applicant's Name(s)
4. ✓ Applicant's Address
5. ✓ Site Plan Preparer's Name
6. ✓ Site Plan Preparer's Address
7. ✓ Drawing Date
8. _____ Revision Dates
9. ✓ Area Map Inset and Site Designation
10. ✓ Properties within 500' of site
11. ✓ Property Owners (Item #10)
12. ✓ Plot Plan
13. ✓ Scale (1" = 50' or lesser)
14. ✓ Metes and Bounds
15. ✓ Zoning Designation
16. ✓ North Arrow
17. ✓ Abutting Property Owners
18. _____ Existing Building Locations
19. _____ Existing Paved Areas
20. _____ Existing Vegetation
21. _____ Existing Access & Egress

PROPOSED IMPROVEMENTS

- 22. _____ Landscaping
- 23. _____ Exterior Lighting
- 24. _____ Screening
- 25. ☒ _____ Access & Egress
- 26. ☒ _____ Parking Areas
- 27. ☒ _____ Loading Areas
- 28. _____ Paving Details (Items 25 - 27)
- 29. _____ Curbing Locations
- 30. _____ Curbing through section
- 31. _____ Catch Basin Locations
- 32. _____ Catch Basin Through Section
- 33. _____ Storm Drainage
- 34. ☒ _____ Refuse Storage
- 35. _____ Other Outdoor Storage
- 36. _____ Water Supply
- 37. _____ Sanitary Disposal System
- 38. _____ Fire Hydrants
- 39. ☒ _____ Building Locations
- 40. ☒ _____ Building Setbacks
- 41. _____ Front Building Elevations
- 42. _____ Divisions of Occupancy
- 43. _____ Sign Details
- 44. ☒ _____ Bulk Table Inset
- 45. ☒ _____ Property Area (Nearest 100 sq. ft.)
- 46. ☒ _____ Building Coverage (sq. ft.)
- 47. ☒ _____ Building Coverage (% of total area)
- 48. ☒ _____ Pavement Coverage (sq. ft.)
- 49. ☒ _____ Pavement Coverage (% of total area)
- 50. ☒ _____ Open Space (sq. ft.)
- 51. ☒ _____ Open Space (% of total area)
- 52. ☒ _____ No. of parking spaces proposed
- 53. ☒ _____ No. of parking spaces required

REFERRING TO QUESTION 9 ON THE APPLICATION FORM, AIS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

54. _____ Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.
55. _____ A disclosure Statement, in the form set below, must be inscribed on all site plan maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

APrior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leasee shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGMENT:

THE PLAT FOR THE PROPOSED SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

BY: Alfred Coppelli FEB 8, 2007
Licensed Professional Architect Date

⌘ ⌘ ⌘ ⌘ ⌘ ⌘ PLEASE NOTE: ⌘ ⌘ ⌘ ⌘ ⌘ ⌘

THE APPLICANT OR THEIR REPRESENTATIVE IS RESPONSIBLE TO KEEP TRACK OF ALL EXPIRATION DATES FOR ANY AND ALL APPROVALS GRANTED TO A PROJECT. EXTENSIONS MUST BE APPLIED FOR PRIOR TO EXPIRATION DATE.

CHANGES MADE TO SITE PLAN FROM ORIGINALLY APPROVED SITE PLAN

1. Addition of stair tower on side of new addition.
2. Added lower level vestibule to connection between new and existing.
3. Changed square footage on data table.
4. Changed sidewalk depth in front of existing building from 5'-0" to 8'-0".
5. Changed parking in rear of new addition. Eliminated and relocated handicap parking and made a loading zone.
6. Due to the elimination of parking behind the new building, modified parking lot configuration.
7. In lieu of the large landscaped planter in front of new building, created plaza with smaller planters and benches.

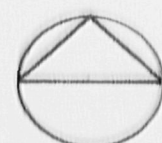


This drawing shall be for dimensional and layout purposes only.

"This site plan remains subject to all the detailed requirements called for on the plan with stamp of approval dated 8/18/06 other than as specifically modified on this amendment plan. All improvements required on the original plan remain in full force and effect as a requirement of the site plan, with such layout to be modified based on the amendment revised layout".

SITE PLAN

NORTH ARROW & SCALE



30 20 10 0 30
SCALE: 1" = 30'

OWNER CERTIFICATION

THE UNDERSIGNED, RHODA CIANCIO, OWNER OF THE PROPERTY, HEREON STATES THAT SHE IS FAMILIAR WITH THIS MAP, ITS CONTENTS & LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS STATED HEREON.

SIGNED _____ DATE _____

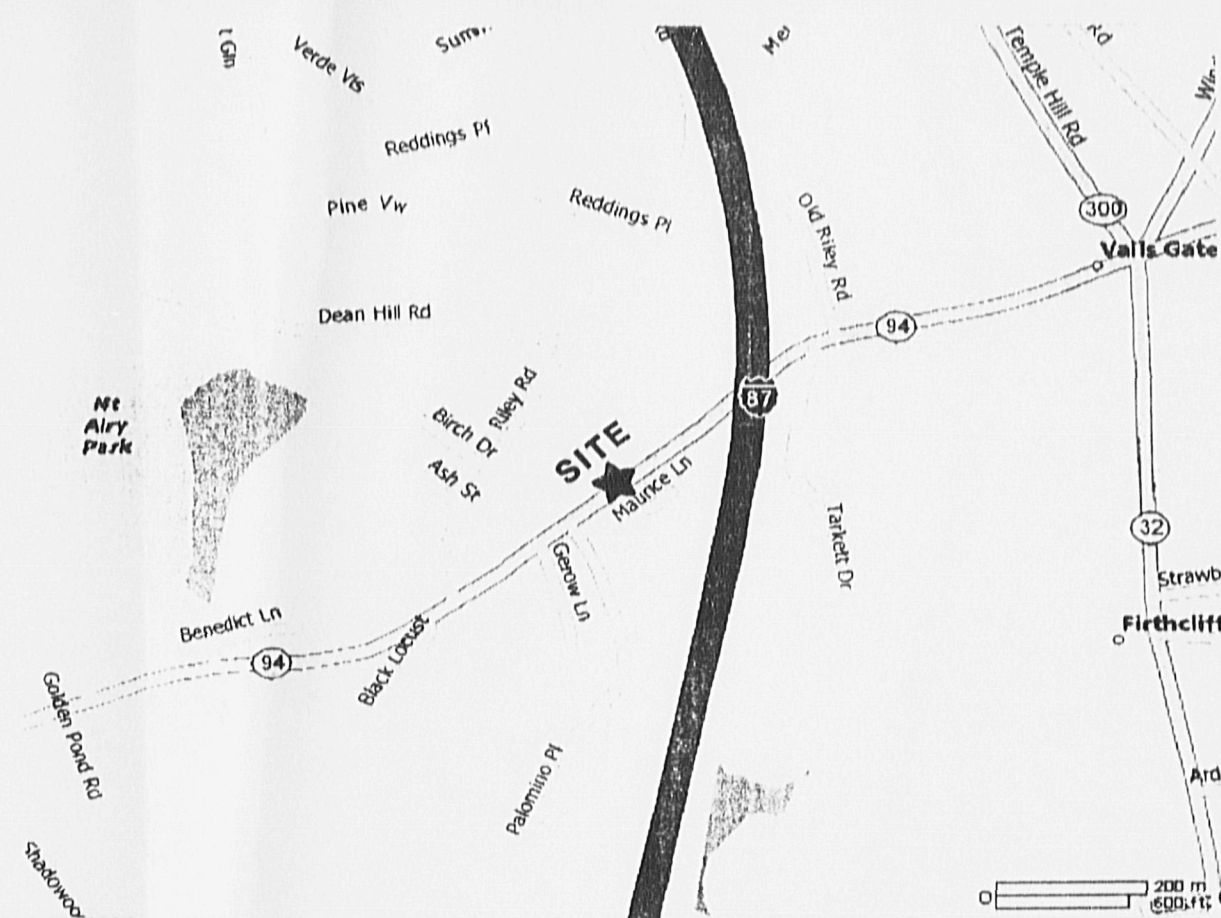
APPLICANT

Ciancio Corp.
Rhoda Ciancio
1124 Route 94
New Windsor, NY 12553

SITE DATA

Location: 1124 Route 94
T/O New Windsor
Orange County, NY
Zoning: Neighborhood Commercial (NC)
Proposed Uses: Retail & Offices
Tax Map No.: 67-4-18.1, 18.2 & 17
Total Lot Area: 125,389 sf, 2.88 AC

AREA MAP



LOCATION MAP



PROJECT DATA

	REQUIRED	PROVIDED
Min. Lot Area	10,000 sf	125,389 sf, 2.88 AC
Min. Lot Width	100 ft.	347.34
Setbacks		
Front	40'	67' (to existing)
Rear	15'	42' (to existing)
Side (one)	15'	42' (to existing)
Side (both)	35'	± 170' (new & existing)
Maximum Height	35'	26' existing 26' proposed
Max. Lot Coverage	85%	84.17%
Floor Area Ratio	1.0	0.13
Building Area		
Existing 1 st Floor		3,620 sf
Existing 2 nd Floor		3,970 sf
Total Existing		7,590 sf
Proposed 1 st Floor	(50'x82')	4,100 sf
Proposed 2 nd Floor	(50'x82')	4,100 sf
Proposed Lobby	(12'x45')	540 sf
Proposed Stairwell	(8'x25')	200 sf
Total New Building		8,940 sf
Total Building Area (New & Existing)		16,530 sf
Parking	1 space/150 sf 16,530 sf ÷ 150 = 110	110 spaces provided, including 5 handicap

APPROVAL GRANTED BY TOWN OF NEW WINDSOR

JUN 13 2007

By: _____
Secretary

SITE PLAN

WINDSOR GATE PLAZA EXPANSION
1124 ROUTE 94 TOWN OF NEW WINDSOR NY

Job no: 00-036

drawn by: AC

scale: 1" = 30'

dwg no:

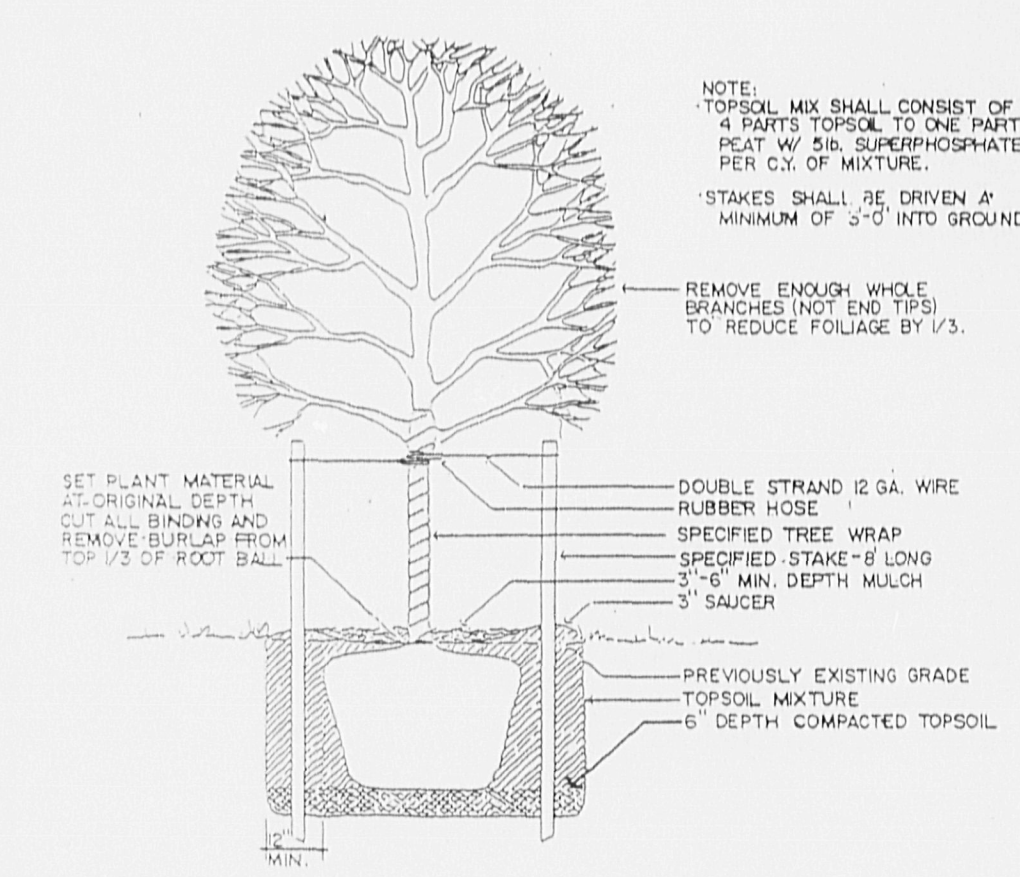
S 1

of _____

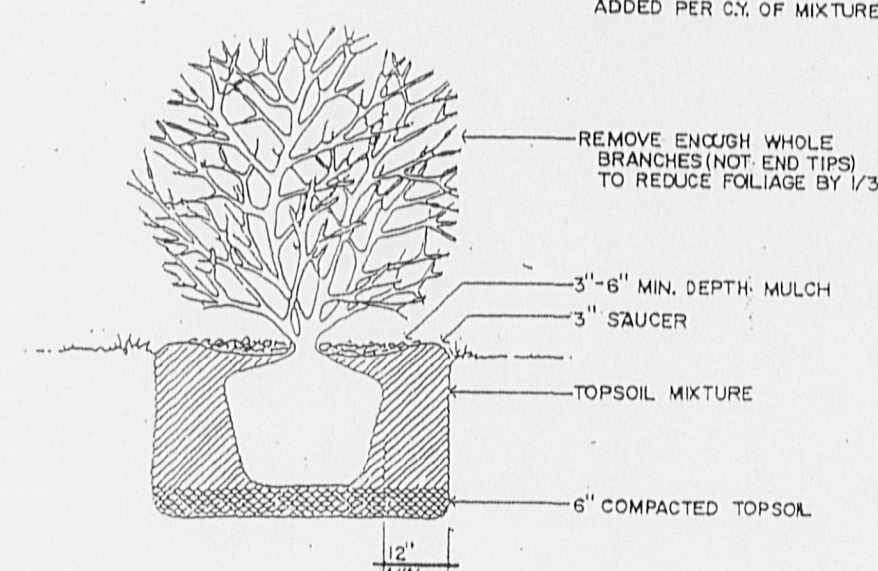


date: FEB. 8, 2007
MAR 19, 2007
MAY 14, 2007

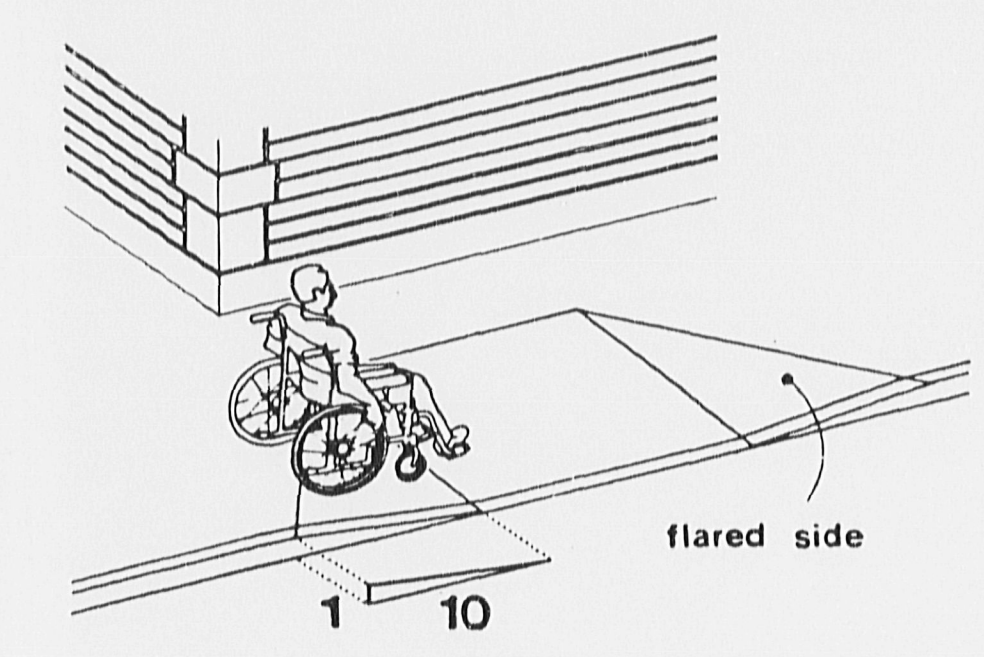
alfred cappelli jr. & associates, pc
architects and planners
792 route 82 hopewell junction, n.y. 12533



1 TREE STAKING DETAIL



2 SHRUB STAKING DETAIL

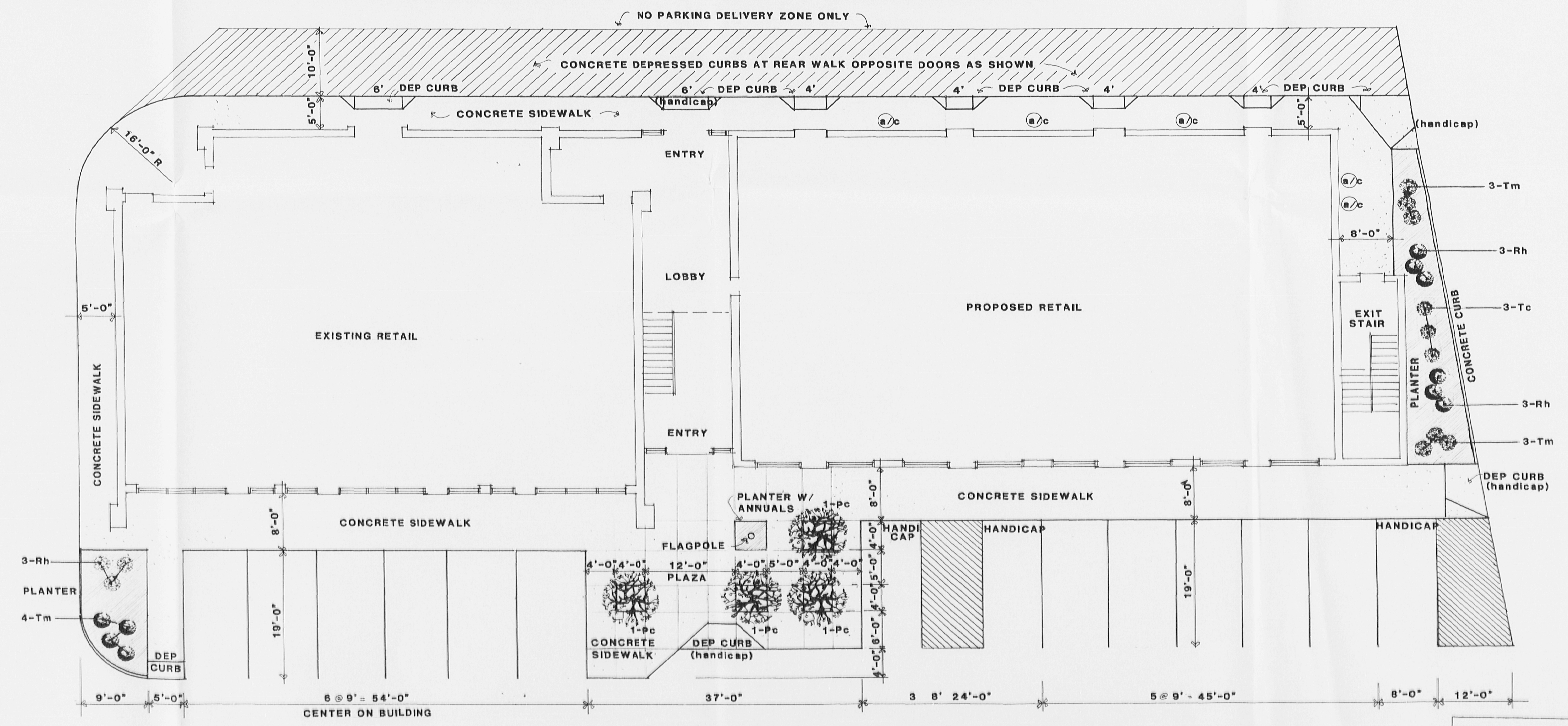


NOTE: HANDICAP DEPRESSED CURBS WHERE NOTED ON PLANS. DELIVERY DEPRESSED CURBS AS IN THE REAR OF THE BUILDING MAY BE SLIGHTLY STEEPER

3 DEPRESSED CURB DETAIL

PLANTING SCHEDULE

MARK	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
Pc	4	Pyrus Calleryana	Bradford Pear	2"-2-1/2" c	
Rh	9	Rhododendron PJM Compacta	Compact PJM Rhodo	2 gal	
Tc	3	Taxus Cuspidata	Capital Yew	2 gal	
Tm	10	Taxus Media Densiformis	Densi Yew	2 gal	



APPROVAL GRANTED BY TOWN OF NEW WINDSOR
JUN 13 2007
BY: [Signature]
TOWN ENGINEER, SECRETARY



date: MARCH 17, 2007

alfred cappelli jr. & associates, pc
architects and planners
792 route 82 hopewell junction, n.y. 12533

SIDEWALK & PLANTER PLAN @ BUILDING

job no: 06-036
drawn by: AC
scale: 1/8" = 1'-0"

dwg no: S 2
of

PROJECT: PROPOSED NEW OFFICE & RETAIL BUILDING FOR WINDSOR GATE PLAZA
1124 ROUTE 94 T/O NEW WINDSOR